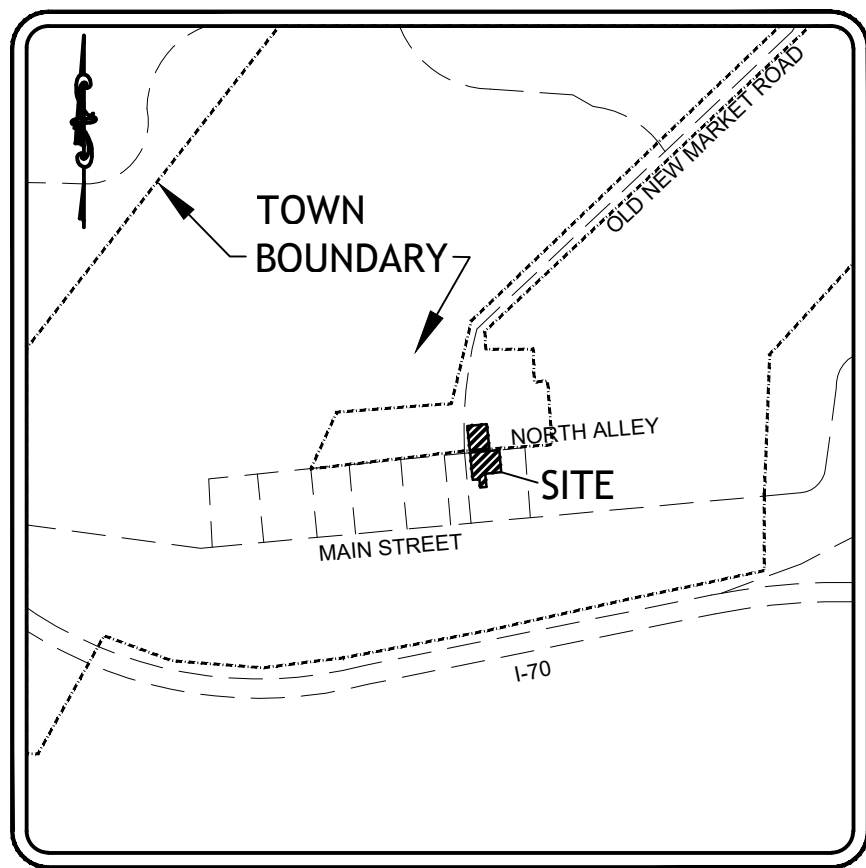


SITE NOTES

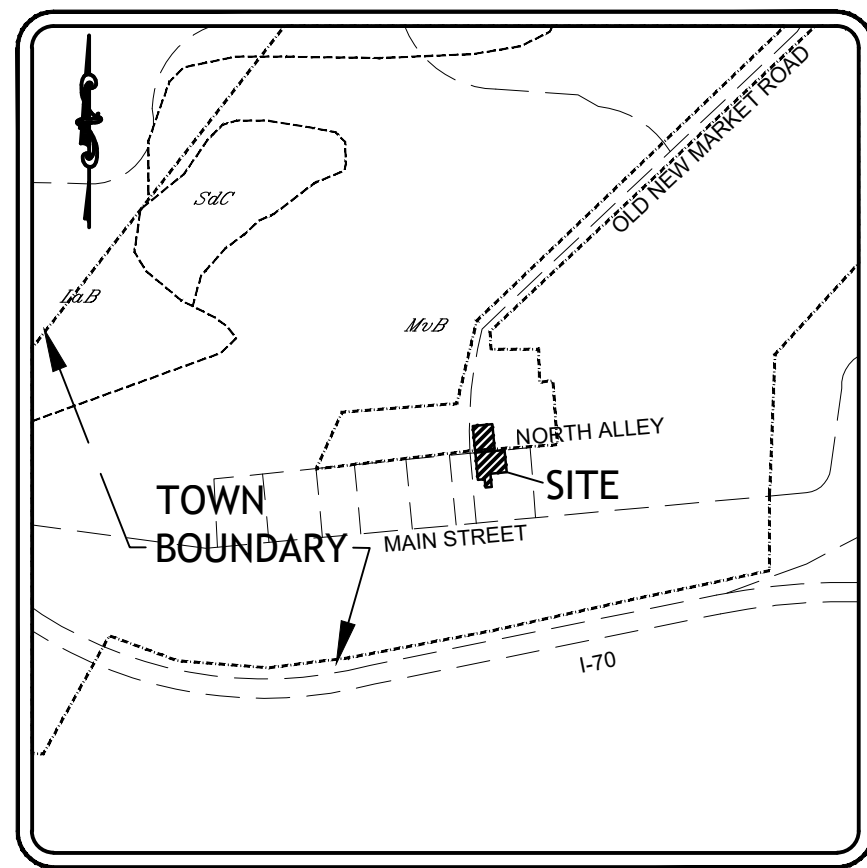
1. SITE IS KNOWN AS "NEW MARKET UNITED METHODIST CHURCH" AND IS SHOWN ON FREDERICK COUNTY TAX MAP NO. 0791, PARCELS 3838 & 3840, TAX ID NO. 09-226125 & 09-263780, LIBER 01102 FOLIO 00457 & LIBER 00617 FOLIO 00210. THE SITE IS ZONED RM (RESIDENTIAL MERCHANT) AND IS WITHIN THE HISTORIC DISTRICT.
- THE EXISTING SITE IS COMPRISED OF TWO PARCELS:
- | | |
|------------------------------|--------------------------|
| PARCEL 3838 (5 PROSPECT ST.) | 0.4242 AC. OR 18,479 SF. |
| PARCEL 3840 (EAST AVE.) | 0.3788 AC. OR 16,500 SF. |
| TOTAL SITE: | 0.8030 AC. OR 34,979 SF |
- A CONSOLIDATION PLAT WAS SUBMITTED SIMULTANEOUSLY WITH THIS SITE PLAN APPLICATION. APPROVAL OF THIS PLAT IS A CONDITION OF APPROVAL OF THE SITE PLAN. THE PLAT WAS APPROVED ON ___/___/2026, AND RECORDED UNDER LIBER ___ FOLIO ___
2. THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
3. THIS PLAN WAS PREPARED WITH THE BENEFIT OF A TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY PRECISION SURVEY AND MAPPING, LLC, INC ON DECEMBER 19, 2024. DATUM: M.S.P. NAD83/2011 NAVD 88.
- THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH AN ACCURATE BOUNDARY LINE SURVEY AS DEFINED BY "COMAR" TITLE 09 SUBTITLE 13 CHAPTER 06 SECTION 03 PERFORMED BY OR UNDER DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR.
4. UTILITIES SHOWN ARE BASED UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AVAILABLE AT THE TIME OF SURVEY. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE VERIFIED BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
5. THERE IS NO FLOODPLAIN ON THIS PROPERTY. THE SITE IS IN ZONE "X" AS PER FEMA FLOOD INSURANCE RATE MAP NO. 24021C-0319E, DATED AUGUST 01, 2023.
6. SOILS INFORMATION TAKEN FROM "SOILS SURVEY OF FREDERICK COUNTY", 2026 EDITION.
- MVB - MYERSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, HSG B
7. THERE ARE NO NON-TIDAL WETLANDS LOCATED IN THE LIMITS OF THIS PROJECT SITE PER MD-DNR.
8. THE PROJECT IS NOT SUBJECT TO FOREST CONSERVATION PLAN AS THE PROPERTY IS LESS AND 40,000 S.F., PER TOWN OF NEW MARKET LAND DEVELOPMENT ORDINANCE (2017-05), ARTICLE VII, SECTION 3.1.1.
9. ALL ACCESSIBILITY DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF MARYLAND ACCESSIBILITY CODE (COMAR 05.02.02) AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
10. WASTE COLLECTION AND RECYCLING IS PROVIDED BY A PRIVATE HAULER TO THE SITE.
11. THE PURPOSE OF THIS PROJECT IS TO REMOVE THE EXISTING BUILDING AND CONSTRUCT A NEW 8,616 SF BUILDING. EXISTING PARKING LOT TO REMAIN. THE BUILDING WILL CONSIST OF GATHERING AREA, OFFICES, CLASSROOMS, AND A WARMING KITCHEN.
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST FREDERICK COUNTY STANDARD SPECIFICATIONS AND DETAILS, AND WHERE APPLICABLE THE MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS AND DETAILS.
13. CONTRACTOR TO NOTIFY "MISS UTILITY" AT (800) 257-7777, FREDERICK COUNTY DEPARTMENT OF ENGINEERING AT (301) 600-1405, AND THE TOWN OF NEW MARKET (301) 865-5544 AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. BEFORE EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR CALLING TICKET CHECK AT 1-866-821-4226 TO VERIFY THAT ALL UTILITIES HAVE BEEN MARKED, 72 HOURS AFTER CALLING "MISS UTILITY".
12. ALL TAPS TO FREDERICK COUNTY WATER LINES SHALL BE PERFORMED BY FREDERICK COUNTY DEPARTMENT OF PUBLIC WORKS AT THE DEVELOPER'S EXPENSE.
13. SEWER CATEGORY: S-1; WATER CATEGORY: W-5
14. ALL UTILITIES AND STORM DRAINS OUTSIDE OF TOWN OF NEW MARKET RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENTS TO BE OWNED AND MAINTAINED BY PROPERTY OWNERS.
15. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC ON EXISTING ROADWAYS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MARYLAND STATE HIGHWAY ADMINISTRATION (SHA) BOOK OF STANDARDS, LATEST EDITIONS. PER DETAIL 104.02-14 AND 104.02-10.
16. WHEN WORKING IN THE AREA OF AN EXISTING GAS LINE, THE CONTRACTOR SHALL HAVE THE WASHINGTON GAS COMPANY (301) 662-2151 VERIFY THAT NO LEAKS EXIST PRIOR TO ANY WORK IN THE AREA. A GAS COMPANY REPRESENTATIVE MUST BE PRESENT AT THE PROJECT SITE BEFORE ANY BLASTING WITHIN 20 FEET OF GAS LINES. ANY EXCAVATION WITHIN FIVE (5) FEET OF A GAS LINE SHALL BE DONE BY HAND.
17. ON-SITE UTILITIES SHALL COMPLY WITH COUNTY PLUMBING CODE REQUIREMENTS.
18. THE CONTRACTOR SHALL NOT (1) STAGE WORK, (2) STORE MATERIALS OR (3) PERMIT PARKING OF EQUIPMENT AND/OR CONSTRUCTION-RELATED VEHICLES IN THE PUBLIC RIGHTS-OF-WAY OR PUBLICLY-OWNED PROPERTY WITHOUT PRIOR APPROVAL OF THE TOWN OR DESIGNER. WHERE PRACTICAL AND TO THE DEGREE POSSIBLE, THE ENGINEER SHALL DESIGNATE ON THESE PLANS APPROPRIATE SPACE THAT CAN BE UTILIZED FOR THE ABOVE PURPOSES. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO OBTAIN TOWN COUNCIL APPROVAL OF ANY REQUESTED TEMPORARY TRAFFIC CONTROL/CLOSURES REQUESTED ON TOWN ROW AND NOTIFY TOWN CLERK 48 HOURS IN ADVANCE OF ANY CLOSURES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SILT AND DEBRIS OUT OF STORM DRAIN SYSTEM DURING CONSTRUCTION AND SHALL CLEAN THE SYSTEM THOROUGHLY, AT THE CONTRACTOR'S EXPENSE, PRIOR TO FINAL ACCEPTANCE BY THE TOWN.
20. PLACE 4" MINIMUM OF TOPSOIL IN ALL GREEN AREAS BEFORE PERMANENT SEEDING IS PERFORMED.
21. STORMWATER MANAGEMENT SHALL BE DESIGNED IN ACCORDANCE WITH THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL.
22. PARKING REQUIREMENTS: PER LDO ARTICLE V SECTION 7.5, A PLACE OF WORSHIP SHALL PROVIDE 1 SPACE FOR EVERY 4 PERSONS OF TOTAL CAPACITY.
SO ON-SITE PARKING SPACES ARE REQUIRED FOR THIS SITE PLAN. THIS NUMBER IS BASED ON A CAPACITY OF 200 PERSONS IN THE ASSEMBLY SPACE.
23. LOADING: PER LDO ARTICLE V SECTION 9.12, A COMMERCIAL BUILDING WITH LESS THAN 40,000 SF SHALL BE PROVIDED WITH ONE OFF-STREET LOADING SPACE. ONE OFF-STREET LOADING SPACE IS PROVIDED IN THE DRIVEWAY ALONG THE BUILDING
24. THE FINAL PLAT TO CONSOLIDATE THE PARCELS THAT MAKE UP THE PROPERTY, MUST BE RECORDED PRIOR TO SITE PLAN APPROVAL.
25. APPLICANT SHALL SUBMIT REQUIRED WATER AND SEWER DOCUMENTATION TO FREDERICK COUNTY DWSU. LETTER OF ADEQUATE WATER AND SEWER SERVICE TO BE PROVIDED PRIOR TO APPROVAL OF IMPROVEMENT PLANS.
26. PER TOWN OF NEW MARKET LDO ARTICLE VI SECTION 7.5 NO FRONT OR SIDE YEAR SETBACKS ARE SPECIFIED IN THE RM ZONING DISTRICT. NEW SETBACKS ARE SUBJECT TO APPROVAL BY THE HISTORIC DISTRICT COMMISSION. EXISTING BUILDING SETBACKS ARE RETAINED AS FOLLOWS: FRONT YARD ON PROSPECT ST. 13.5 FEET, SIDE YARD ON NORTH ALLEY 4 FEET.
27. NO OPEN SPACE OR RECREATION SPACES ARE NOTED TO BE REQUIRED FOR WORSHIP FACILITIES IN THE RM DISTRICT PER TOWN OF NEW MARKET LDO ARTICLE IV, SECTION 7.5.7
28. ARCHITECTURAL STANDARDS TO BE APPROVED BY THE ARCHITECTURAL REVIEW COMMISSION (ARC) PRIOR TO SITE PLAN APPROVAL BY THE TOWN PLANNING COMMISSION.
29. TOTAL DISTURBED AREA IS 18,514 S.F. (0.425 AC.)
30. MAXIMUM BUILDING ROOF HEIGHT 24'-11"

NEW MARKET UNITED METHODIST CHURCH MINISTRY CENTER SITE PLAN

FREDERICK ELECTION DISTRICT NO. 9
FREDERICK COUNTY, MARYLAND
MARCH 2026
PERMIT #2091B



VICINITY MAP
SCALE: 1" = 2,000'±
FREDERICK COUNTY



SOILS MAP
SCALE: 1" = 1000'±
TAX MAP: 791
PARCEL: B

PROJECT DATA TABLE	
TOTAL AREA	34,979 SQ. FT.
PROPOSED BUILDING FLOOR AREA	8,618 SQ. FT.
PROPOSED BUILDING GROUND COVERAGE	24.63%
POST DEVELOPMENT IMPERVIOUS AREA	24,923 SQ. FT.
EXISTING PARKING SPACES	52
PROPOSED PARKING SPACES	50
PARKING REQUIRED (1 PER 4 SEATS)	50 (200 SEATS)
LOADING SPACES	
EXISTING IMPERVIOUS AREA	21,730 SQ. FT.
PROPOSED DISTURBED AREA	18,514 SQ. FT.

USE TABLE	
PROPOSED USE	INSTITUTIONAL
MAXIMUM NUMBER OF EMPLOYEES	3
TYPE OF ENERGY TO BE USED	ELECTRIC
TYPE OF WASTE	COMMERCIAL
DISPOSAL OF WASTE	PRIVATE HAULER
EXTERIOR LIGHTING	ATTACHED TO BUILDING

EXISTING LEGEND

- EXISTING BOUNDARY LINE
EXISTING PROPERTY LINE
EXISTING CONTOUR
EXISTING BENCHMARK
EXISTING SEWER MANHOLE
EXISTING WATER MANHOLE
EXISTING STORM MANHOLE
EXISTING TELEPHONE MANHOLE
EXISTING ELECTRIC MANHOLE
EXISTING GAS MANHOLE
EXISTING SANITARY SEWER
EXISTING WATER LINE
EXISTING STORM DRAIN
EXISTING UTILITY POLE
EXISTING OVHD UTILITY LINE
EXISTING U/G ELECTRIC LINE
EXISTING U/G GAS LINE
EXISTING U/G TELE LINE
EXISTING U/G CABLE LINE
EXISTING U/G FIBER OPTIC
EXISTING GAS VALVE
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING WATER METER
EXISTING LIGHT
EXISTING SIGN
EXISTING BOLLARD

DEMO LEGEND

- EXISTING ASPHALT DRIVE
(TO BE REMOVED)
EXISTING ASPHALT TO BE
MILLED (2" DEPTH)
EXISTING CONCRETE SIDEWALK
TO BE REMOVED
EXISTING BUILDING TO BE
REMOVED
FEATURE TO BE REMOVED

PROPOSED LEGEND

- PROPOSED WATERLINE
PROPOSED WATER VALVE
PROPOSED FIRE HYDRANT
LIMITS OF DISTURBANCE
PROPOSED REGULAR DUTY ASPHALT
PROPOSED 2" MILL & OVERLAY

SURVEY CONTROL:

PointNo.	Northing(Y)	Easting(X)	Elev(Z)	Description
1	625584.60	1236086.41	546.63	PK NAIL
2	625573.75	1236428.33	536.25	PK NAIL
3	625524.22	1236178.83	543.17	IRON REBAR
4	625376.97	1236075.08	545.20	PK NAIL
5	625180.64	1236128.44	536.27	PK NAIL

APPROVALS:

1. HDC DEMOLITION APPROVAL: PERMIT #2090; APPROVED APRIL 14, 2026
2. HDC CERTIFICATE OF APPROPRIATENESS: PERMIT #2092; APPROVED APRIL 14, 2026
3. COMBINED STORMWATER CONCEPT/DEVELOPMENT CONCEPT: PERMIT # PW278452; APPROVED MARCH 10, 2026

FIRE AND RESCUE NOTES:

1. FIRE DEPARTMENT ACCESS ROADS SHALL BE ACCESSIBLE DURING ALL TYPES OF WEATHER AND AT ALL TIMES.
2. FIRE DEPARTMENT ACCESS ROADS SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS AT ALL TIMES AND BE A MINIMUM OF 20' WIDE.
3. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED AND MAINTAINED TO ALL STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION.

DRAWING LIST

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
C-1	EXISTING CONDITIONS PLAN
C-2	DEMOLITION PLAN
C-3	OVERALL SITE PLAN
C-3A	SITE PLAN
C-3B	SITE DETAILS
C-4	UTILITY PLAN
C-5	LANDSCAPE PLAN
C-6	LANDSCAPE NOTES
A301	EXTERIOR ELEVATIONS

SITE PLAN VALIDITY: 1 YEAR FROM DATE OF SIGNATURE PER THE LDO, UNLESS A LONGER PERIOD IS REQUESTED AND APPROVED.

THE TOWN OF NEW MARKET APPROVAL
PLANNING AND ZONING COMMISSION

BY:

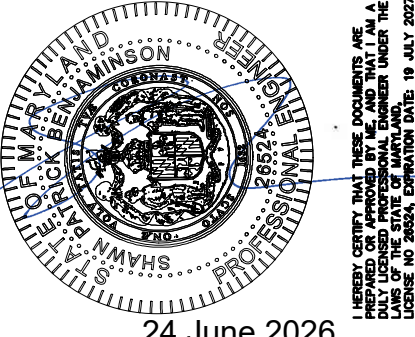
DATE

OWNER/DEVELOPER:
ANTHONY BISHOP - TRUSTEE
NEW MARKET UNITED METHODIST CHURCH
PO BOX 111
NEW MARKET, MARYLAND 21774
BULLBISHOP03@GMAIL.COM
ENGINEER:
SHAWN BENJAMINSON, PE
150 S. EAST ST., SUITE 201
FREDERICK, MARYLAND 21701
SBENJAMINSON@ADTEKENGINEERS.COM

NEW MARKET UNITED METHODIST CHURCH
MINISTRY CENT
5 PROSPECT ST., NEW MARKET MD 21774
LIBER _____ FOLIO _____ ELECTION DISTRICT: 09
TAX ACCT: _____

COVER SHEET

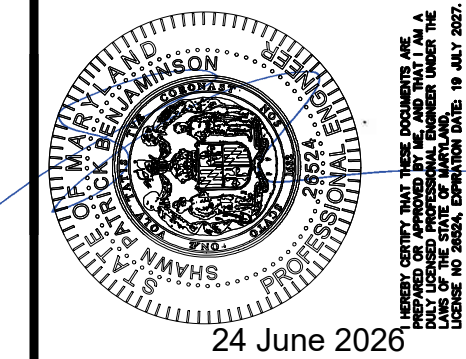
SCALE:	DRAWN BY:	JEB	DESIGN BY:	SPB	CHECKED BY:	JOSUA 1:9	PROJECT NUMBER:
NONE							



NO.	DATE	DESCRIPTION
1	04/27/2026	ADDRESS SITE PLAN COMMENTS
2	06/12/2026	ADDRESS SITE PLAN COMMENTS
3	06/23/2026	ADDRESS SITE PLAN COMMENTS
4	06/24/2026	ADDRESS SITE PLAN COMMENTS

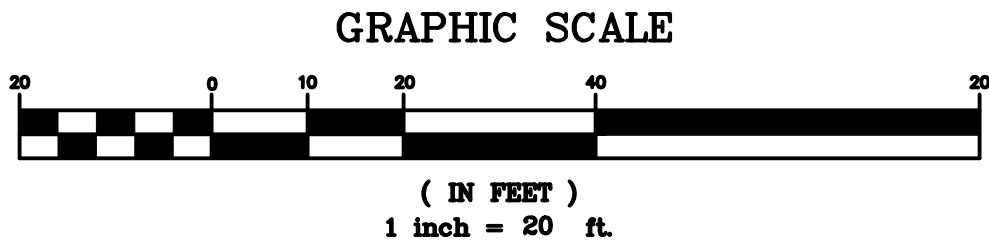
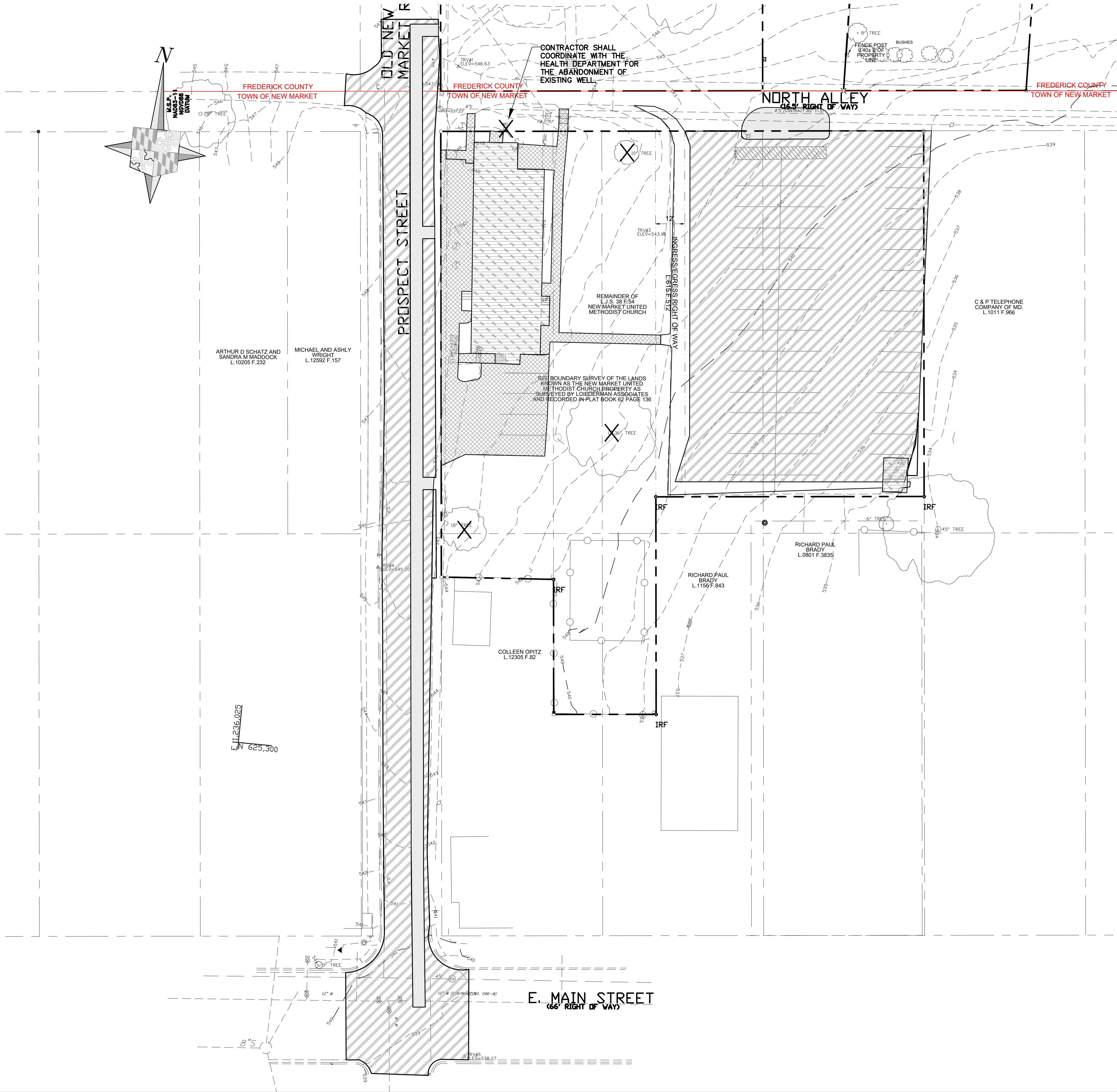


ISSUE		DESCRIPTION
NO.	DATE	
1	04/27/2026	ADDRESS SITE PLAN COMMENTS
2	06/12/2026	ADDRESS SITE PLAN COMMENTS
3	06/23/2026	ADDRESS SITE PLAN COMMENTS
4	06/24/2026	ADDRESS SITE PLAN COMMENTS



EXISTING CONDITIONS PLAN				
DRAWN BY:	JEB	DESIGN BY:	JEB	CHECKED BY:
SCALE:	1"=30'	DATE:	03/13/2026	PROJECT NUMBER:
				DRAWING NUMBER:
				JOSHUA 1:9 C-1

C:\Users\abernamj\OneDrive - Adtek Engineers Inc\Documents\Personal\Church\Site Plan.dwg PLOTTED Jun. 24, 2026



OWNER/DEVELOPER:
ANTHONY BISHOP - TRUSTEE
NEW MARKET UNITED METHODIST CHURCH
P.O. BOX 111
NEW MARKET, MARYLAND 21774
BULLBISHOP03@GMAIL.COM

ENGINEER:
SHAWN BENJAMINSON, PE
150 S. EAST ST., SUITE 201
FREDERICK, MARYLAND 21701
SBENJAMINSON@ADTEKENGINEERS.COM

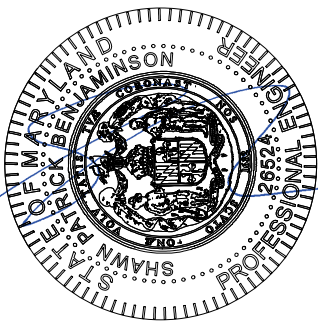
NEW MARKET UNITED METHODIST CHURCH
MINISTRY CENT.
5 PROSPECT ST., NEW MARKET MD 21774
LIBER: _____ FOLD ELECTION DISTRICT: 09
TAX ACCT: _____

DEMOLITION PLAN

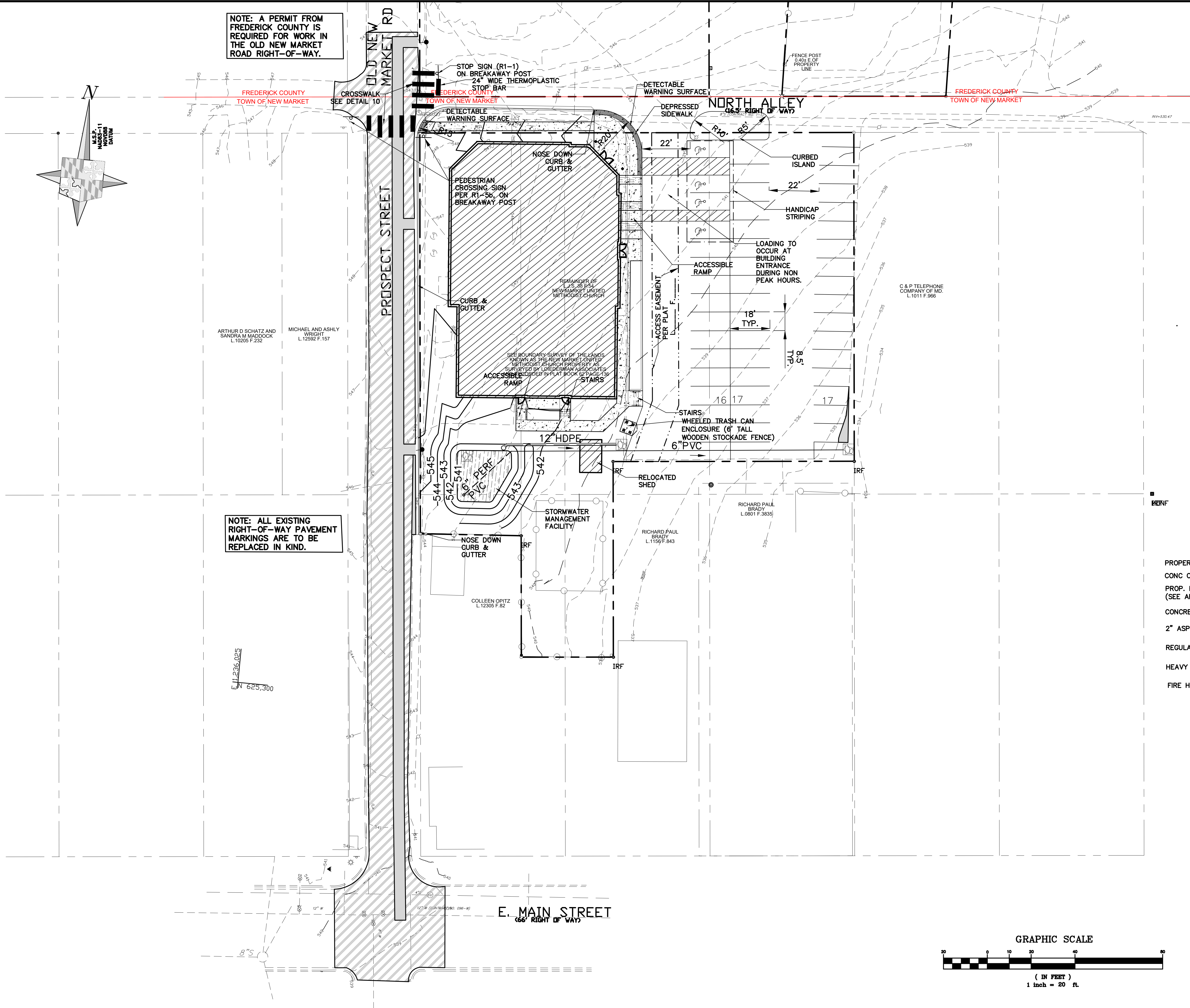
SCALE: 1"=30'
DRAWN BY: JEB
DESIGN BY: JEB
CHECKED BY: SPB
PROJECT NUMBER: JOSHUA 1:9
DRAWING NUMBER: C-2

ISSUE	
NO.	DATE
1	04/27/2026
2	06/12/2026
3	06/23/2026
4	06/24/2026

DESCRIPTION
ADDRESS SITE PLAN COMMENTS
ADDRESS SITE PLAN COMMENTS
ADDRESS SITE PLAN COMMENTS
ADDRESS SITE PLAN COMMENTS



24 June 2026

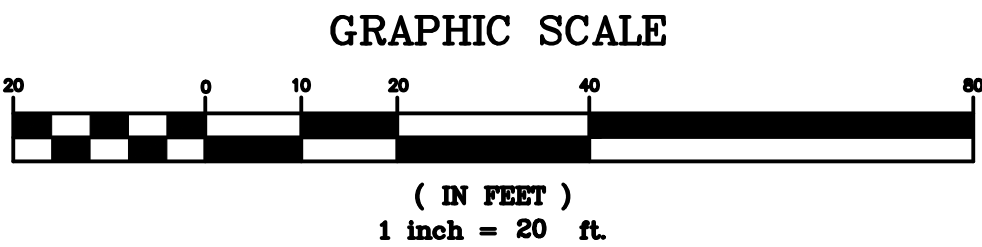


NOTE: A PERMIT FROM
FREDERICK COUNTY IS
REQUIRED FOR WORK IN
THE OLD NEW MARKET
ROAD RIGHT-OF-WAY.

NOTE: ALL EXISTING
RIGHT-OF-WAY PAVEMENT
MARKINGS ARE TO BE
REPLACED IN KIND.

LEGEND

- PROPERTY LINE
- CONC CURB & GUTTER
- PROP. BUILDING
(SEE ARCH DWG'S)
- CONCRETE SIDEWALK
- 2" ASPHALT MILL & OVERLAY
- REGULAR DUTY ASPHALT
- HEAVY DUTY CONCRETE
- FIRE HYDRANT

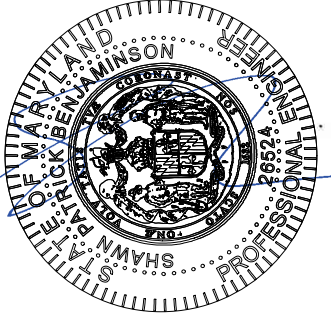


OWNER/DEVELOPER:
ANTHONY BISHOP - TRUSTEE
NEW MARKET UNITED METHODIST CHURCH
PO. BOX 111
NEW MARKET, MARYLAND 21774
BULLBISHOP03@GMAIL.COM
ENGINEER:
SHAWN BENJAMINSON, PE
150 S. EAST ST., SUITE 201
FREDERICK, MARYLAND 21701
SBJENAMINSON@ADTEKENGINEERS.COM

NEW MARKET UNITED METHODIST CHURCH
MINISTRY CENT
5 PROSPECT ST, NEW MARKET MD 21774
LIBER _____, POLIO _____, ELECTION DISTRICT: 09
TAX ACCT: _____

OVERALL SITE PLAN

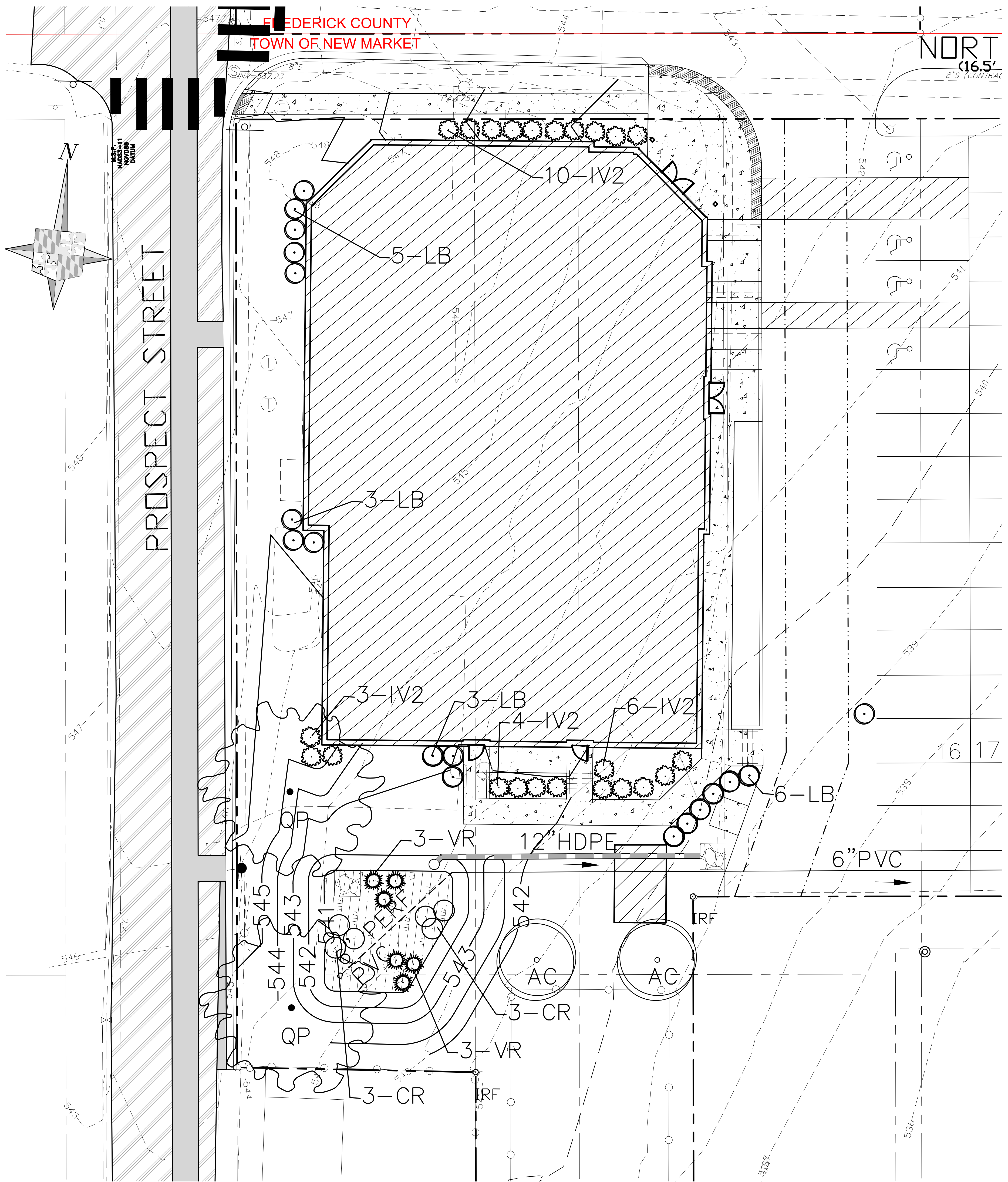
SCALE:	DATE: 03/13/2026	DESIGN BY: JEB	CHECKED BY: SPB	PROJECT NUMBER: JOSHUA 1-9
DRAWN BY: JEB				DRAWING NUMBER: C-3



24 June 2026

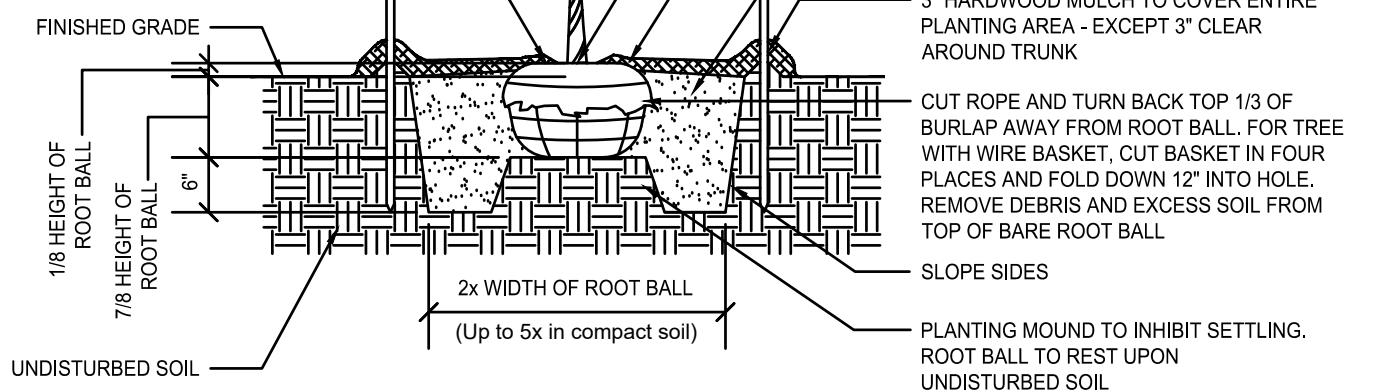
NO.	DATE	DESCRIPTION
1	04/27/2026	ADDRESS SITE PLAN COMMENTS
2	06/12/2026	ADDRESS SITE PLAN COMMENTS
3	06/23/2026	ADDRESS SITE PLAN COMMENTS
4	06/24/2026	ADDRESS SITE PLAN COMMENTS

C:\Users\abennaminson\OneDrive - Attek Engineers Inc\Documents\Personal\Church\Site Planning PLOTTED Jun 24, 2026

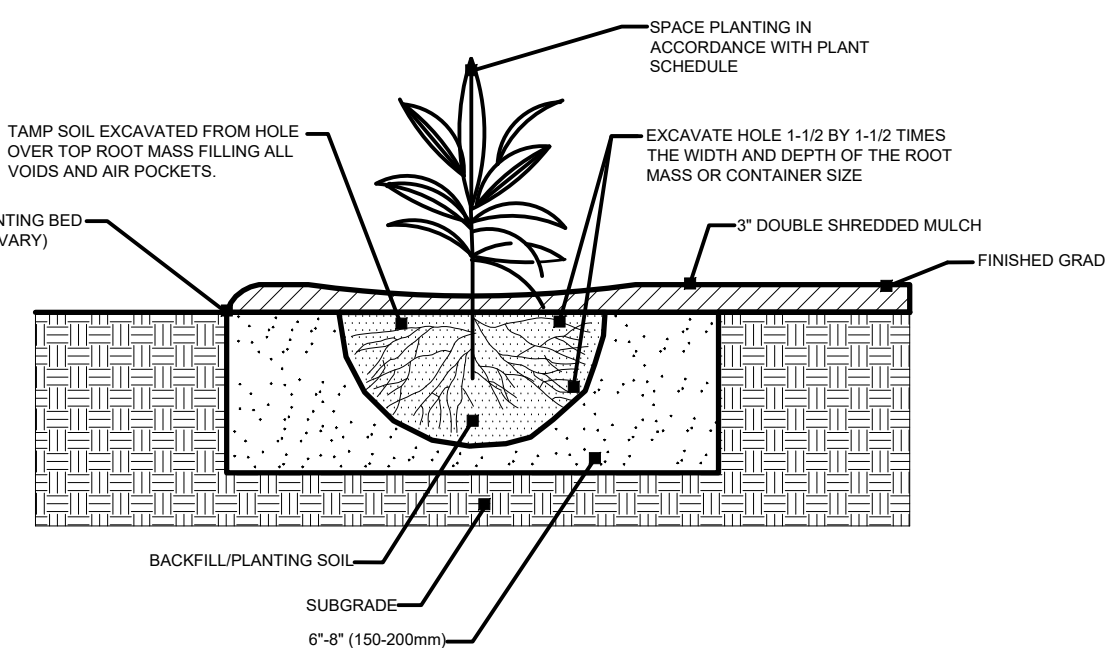


NOTE:
• PRUNE ONLY DEAD, BROKEN OR CROSSING BRANCHES (NO HEADING BACK)
• ALL STAKING AND GUYING TO BE REMOVED AFTER 6 MONTHS
• WATER @ PLANTING WHEN SOIL PIT IS 1/2 BACK FILLED.

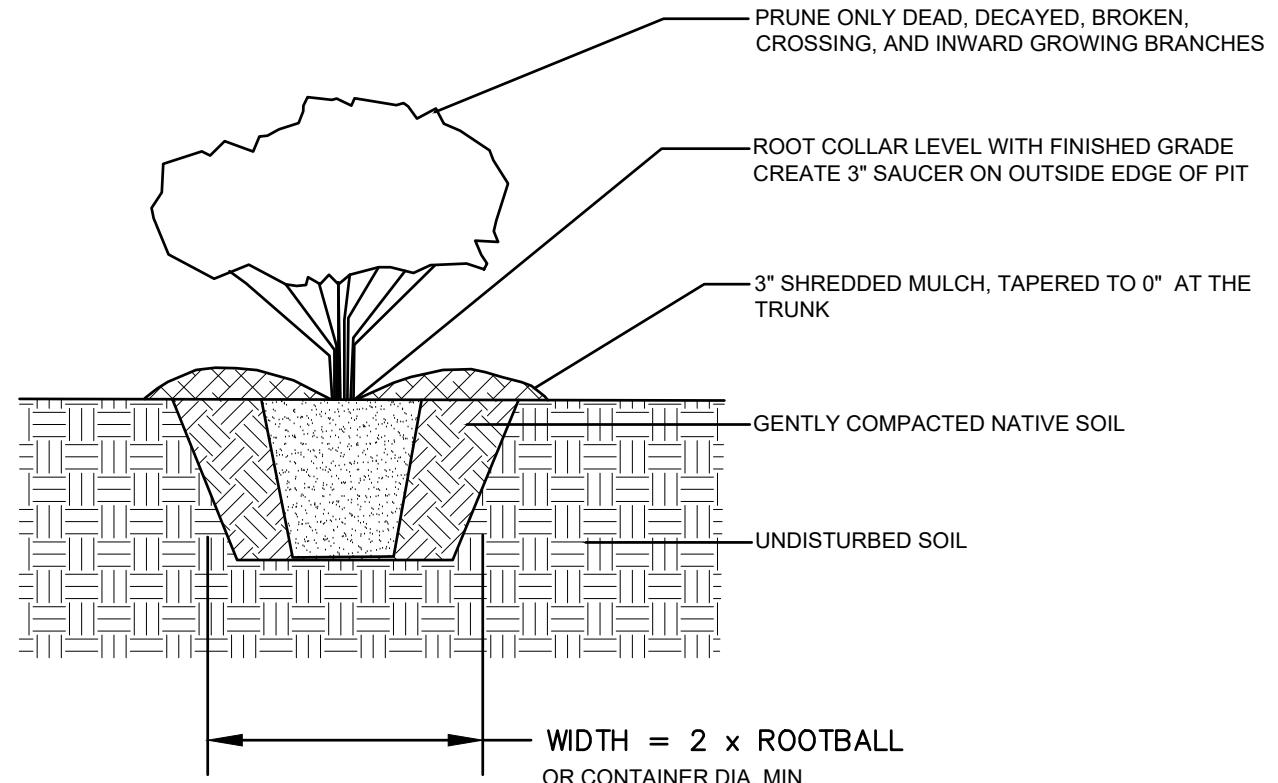
2 DOUBLE STRANDS OF 12 GAUGE GALVANIZED WIRE TWISTED FOR SUPPORT. ALLOW FOR 1" PLAY OF TRUNK. (DO NOT WRAP TRUNK WITH WIRE & HOSE)
EXPOSED ROOT FLARE LEVEL WITH FINAL GRADE



DECIDUOUS TREE PLANTING - UNDER 3" CALIPER
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
N.T.S.



SECTION
N.T.S.
1. REMOVE ALL POTS AND WIRE AND CUT CONTAINER CLEANLY WAY FROM ROOTS.
2. REMOVE BURLAP FROM TOP HALF OF ROOT BALL.
3. CONTAINER PLANTINGS MAKE 4 TO 5 VERTICAL CUTS TO THE ROOT BALL BEFORE SETTING IN PLACE.
4. PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS.
5. CLEANLY PRUNE ALL DAMAGED ROOT ENDS TEASE ROOTS OF CONTAINER GROWN STOCK.
6. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.
7. DEEP WATER AFTER PLANTING.

SHRUB PLANTING DETAIL
N.T.S.

LEGEND

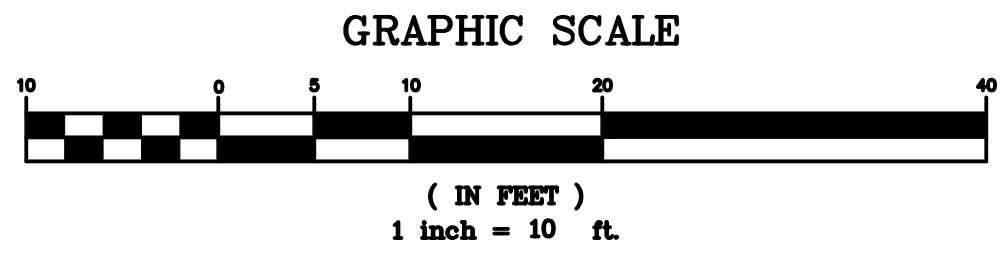
- PROPOSED SHADE TREE
- PROPOSED SHRUB
- PROPOSED SWM GROUNDCOVERS

Landscape Cost Estimate

Description	Unit Cost	Unit	Quantity	Total Cost
Shrubs	\$50.00	EA	52.00	\$2,600.00
Trees	\$271.00	EA	4.00	\$1,084.00
				\$3,684.00

* Source: City of Frederick Bond Estimate Calculator

PLANTING SCHEDULE						
Key	Botanical Name	Common Name	Quan.	Stock Size	Stock Type	Spacing
Canopy Trees						
QP	Quercus phellos	Willow Oak	2	2.5" cal.	B&B	As shown
Ornamental Trees						
AC	Amelanchier arborea	Downey Serviceberry	2	6' ht.	B&B	As shown
Shrubs/Groundcovers						
LB	Lindera benzoin	Spicebush	17	24"-30"	3 gal. cont.	As shown
CR	Cornus sericea	Red Twig Dogwood	6	24"-30"	3 gal. cont.	As shown
IV2	Itea virginica "Henry's Garnet"	Henry's Garnet Sweetspire	23	24"-30"	3 gal. cont.	As shown
VR	Virburnum dentatum	Viburnum	6	24"-30"	3 gal. cont.	As shown



OWNER/DEVELOPER:
ANTHONY BISHOP - TRUSTEE
NEW MARKET UNITED METHODIST CHURCH
PO. BOX 111
NEW MARKET, MARYLAND 21774
BULLBISHOP03@GMAIL.COM
ENGINEER:
SHAWN BENJAMINSON, PE
150 S. EAST ST., SUITE 201
FREDERICK, MARYLAND 21701
SBENJAMINSON@ATTEKENGINEERS.COM

24 June 2026

NO.	DATE	DESCRIPTION	ISSUE
1	04/27/2026	ADDRESS SITE PLAN COMMENTS	
2	06/12/2026	ADDRESS SITE PLAN COMMENTS	
3	06/23/2026	ADDRESS SITE PLAN COMMENTS	
4	06/24/2026	ADDRESS SITE PLAN COMMENTS	

NEW MARKET UNITED METHODIST CHURCH
MINISTRY CENT
5 PROSPECT ST., NEW MARKET MD 21774
TAX ACCT: _____, POLIO _____, ELECTION DISTRICT: 09

LANDSCAPE PLAN

SCALE:	DATE: 03/13/2026	PROJECT NUMBER:	JOSHUA 1-9
DRAWN BY:	JEB	CHECKED BY:	SPB
DESIGN BY:	JEB	DRAWING NUMBER:	C-5

GENERAL PLANTING NOTES

PLANT / MATERIAL NOTES

PLANT IDENTIFICATION:

1. ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING AND ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE.
2. STATE OR FEDERAL NURSERY INSPECTION CERTIFICATES SHALL BE FURNISHED TO THE OWNER UPON REQUEST.
3. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. PLANT QUANTITIES SHOWN ON THE PLAN SHALL GOVERN OVER THOSE SHOWN ON THE PLANT LIST.
4. CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS.
5. PLANTS WILL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONFORM IN GENERAL TO THE REPRESENTATIVE SPECIES.
6. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. ANY SUBSTITUTIONS MADE WITHOUT THIS APPROVAL MADE BE SUBJECT TO REJECTION AND REMOVAL AT THE CONTRACTOR'S EXPENSE.
7. PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE AND VARIETY. PLANTS DAMAGED IN HANDLING OR TRANSPORTATION MAY BE REJECTED BY THE OWNER.

PLANT QUALITY:

1. ALL PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND BE FREE OF PLANT DISEASE, INSECTS, EGGS AND LARVAE AND SHALL HAVE HEALTHY ROOT SYSTEMS. PLANTS SHALL BE OBTAINED FROM SITES WHICH ARE SIMILAR IN SOIL AND CLIMATIC CONDITIONS AS THOSE OF THE PROJECT SITE.
2. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALL OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.N. SPECIFICATIONS.
3. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN THE CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
4. PRUNING SHALL BE DONE DURING PLANTING OPERATION.
5. ALL PLANT MATERIAL IN TRANSIT SHALL BE COVERED WITH BURLAP OR SIMILAR COVER TO KEEP IT FROM WIND DAMAGE AND DRYING OUT.

PLANT SIZE:

1. ALL PLANT SIZES SHALL AVERAGE AT LEAST THE MIDDLE OF THE PLANT RANGE GIVEN IN THE PLANT LIST, BUT IN NO CASE SHALL ANY PLANT BE LESS THAN THAT SIZE STATED FOR THAT SPECIES.
2. CALIPER MEASUREMENTS SHALL BE TAKEN AT A POINT ON THE TRUNK 6 INCHES ABOVE NATURAL GRADE FOR TREES UP TO 4 INCHES IN DIAMETER; AND AT A POINT 12 INCHES ABOVE NATURAL GRADE FOR TREES OVER 4 INCHES IN DIAMETER.
3. SINGLE TRUNK TREES SHALL NOT INCLUDE THE "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE.
4. SHRUBS HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED FROM THE END OF THE BRANCHING, EQUALLY AROUND THE PLANT. MEASUREMENTS SHALL NOT INCLUDE TERMINAL GROWTH.
5. HEIGHT AND SPREAD DIMENSIONS SPECIFIED SHALL REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP.

MULCH:

1. MULCH SHALL BE EITHER COMPOSTED HARDWOOD BARK, FINE SHREDDED HARDWOOD BARK, PINE BARK OR APPROVED EQUAL, AND FREE OF FOREIGN MATTER.

FERTILIZER:

1. FERTILIZER SHALL BE GRANULAR, PACKET OR PELLET, WITH 35% TO 80% OF TOTAL NITROGEN IN ORGANIC FORM. IT SHALL BE A COMPLETE FERTILIZER WITH A MINIMUM ANALYSIS OF 10% NITROGEN,6% PHOSPHOROUS AND 4% POTASSIUM. GRANULAR FERTILIZER SHALL BE APPLIED TO THE SOIL MIX WITH A 10-6-4 ANALYSIS AT THE FOLLOWING RATES: TREE PITS, 2-3 LBS. PER INCH OF TRUNK DIAMETER; SHRUB BEDS, 2 LBS. PER 100 SQUARE FEET OF BED AREA (OR 1/4 LB. PER FOOT OF HEIGHT OR SPREAD). GROUND COVER, VINE AND HERBACEOUS PLANTS, 2-3 LBS. PER 100 SQUARE FEET. THE OWNER RESERVES THE RIGHT TO DETERMINE THE TIME FERTILIZATION SHOULD OCCUR WITHIN THE ONE YEAR GUARANTEE PERIOD.
1. TOPSOIL, IF REQUIRED, SHALL BE FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, CLUMPS, PLANTS, AND THEIR ROOT DEBRIS AND OTHER EXTRANEOUS MATTER OF 1 INCH IN DIAMETER, AND CAPABLE OF PERMITTING VIGOROUS PLANT GROWTH. TOPSOIL SHALL HAVE A pH RANGE OF 6.0 TO 6.5, WITH A pH RANGE OF 5.0 TO 5.5 FOR PLANTS REQUIRING ACID SOILS. CONTRACTOR SHALL PROVIDE SOIL ANALYSIS TO OWNER PRIOR TO IMPORTING TOPSOIL ONTO THE PROJECT SITE.

PLANTING NOTES

LOCATION:

1. PLANT LOCATIONS WILL BE STAKED BY THE LANDSCAPE CONTRACTOR AND WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
2. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO PLANT LOCATIONS IN THE FIELD SO AS TO AVOID UTILITIES, SWALES AND OTHER UNFORSEEN CONFLICTS. IF UNUSUALLY LARGE DISCREPANCIES ARISE BETWEEN ACTUAL FIELD LIMITS AND THOSE PLANTING AREAS SHOWN ON THE PLAN , THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE CONTRACTOR'S NEED TO RELOCATE THE PLANT MATERIAL AT HIS OWN EXPENSE.
3. TREES AND SHRUBS THAT ARE TO BE PLANTED IN UNIFORM MASSES AND/OR ROWS SHALL BE OF UNIFORM SIZE, SHAPE, AND VIGOR.

TREE MAINTENANCE REQUIREMENTS:

ANY PERSON WHO INSTALLS A TREE PURSUANT TO THIS CHAPTER SHALL GUARANTEE THE LIFE OF THE TREE FOR ONE (1) YEAR AND SHALL REPLACE ANY TREE THAT DIES OR BECOMES DISEASED DURING THE ONE (1) YEAR PERIOD. THE ADJACENT PROPERLY OWNER SHALL WATER ANY TREE, OR OTHER WOODY OR HERBACEOUS PLANTING INCLUDING CONTAINER PLANTINGS LOCATED IN THE PUBLIC SPACE.

THE ADJACENT PROPERLY OWNER SHALL PERFORM ANY NEEDED MAINTENANCE OF THE TREE SPACE, INCLUDING, BUT NOT LIMITED TO, CLEANING, WEEDING, MULCHING, AND REPLACEMENT OF PLANTINGS, OR GROUND COVER.

THE ADJACENT PROPERLY OWNER SHALL PERFORM ANY NEEDED GENERAL MAINTENANCE WORK ON LANDSCAPED AREAS AND PLANTER BOXES INSTALLED ON PUBLIC SPACE.

THE ADJACENT PROPERTY OWNER OR THE DEPARTMENT MAY PERFORM ANY EMERGENCY MAINTENANCE OF A TREE IN THE PUBLIC SPACE.

MAINTENANCE / WARRANTY NOTES: CONTRACTOR RESPONSIBILITIES

MAINTENANCE:

1. THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND UP TO THE TIME OF FINAL ACCEPTANCE FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, RESTAKING AND CLEANING UP AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT TIME OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE REEQUIRED TO REMOVE ALL DEBRIS, TRASH, AND UNNECESSARY MATERIALS FROM THE AREA OF WORK AND/OR THE PROPERTY ON A DAILY BASIS.
3. THE CONTRACTOR SHALL REMOVE ALL DEAD PLANT MATERIAL FROM THE JOB SITE ON A WEEKLY BASIS. CONTRACTOR SHALL ALSO BE REQUIRED TO RETAIN A LOG OF ALL PLANT MATERIALS REMOVED DUE TO DEATH OR INJURY SO AS TO PROPERLY IDENTIFY THOSE PLANTS FOR REPLACEMENT.

WARRANTY AND REPLACEMENT:

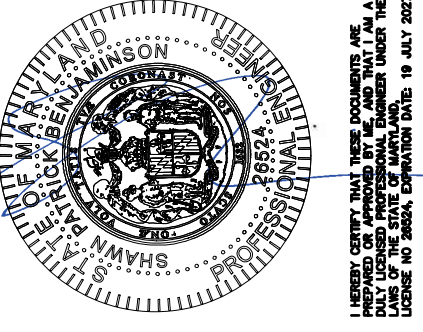
1. ALL PLANT MATERIAL, INCLUDING TREES AND ALL WOODY AND HERBACEOUS PLANTS SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. THE CONTRACTOR IS NOT RESPONSIBLE FOR LOSSES OR DAMAGE CAUSED BY OTHER TRADES MECHANICAL INJURY OR VANDALISM.
2. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND SHALL BE REPLACED AT NO COST TO THE OWNER.

PLANTING SCHEDULE

TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" DBH OR GREATER												
PLANTING SEEDINGS, WHIPS												
MINIMUM MONITORING												
FERTILIZER * (IF NEEDED)												
WATER **												
PRUNING												

- KEY
- * ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS
- GREATLY RECOMMENDED
- RECOMMENDED WITH ADDITIONAL CARE
- RECOMMENDED
- * DEPENDENT UPON SITE CONDITIONS
- ** DEPENDENT UPON SITE CONDITIONS; WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"

NOTES:
The planting and care of trees is most successful when coordinated with the local climatic conditions. This calendar summarizes some of the recommended time frames for basic reforestation and stress reduction activities.



NO.	DATE	ISSUE	
		DESCRIPTION	
1	04/27/2026	ADDRESS SITE PLAN COMMENTS	
2	06/12/2026	ADDRESS SITE PLAN COMMENTS	
3	06/23/2026	ADDRESS SITE PLAN COMMENTS	
4	06/24/2026	ADDRESS SITE PLAN COMMENTS	

NEW MARKET UNITED METHODIST CHURCH
MINISTRY CENT
5 PROSPECT ST., NEW MARKET MD 21774
LIBER _____, POLIO _____, ELECTION _____, DISTRICT: 09
TAX ACCT: _____

OWNER /DEVELOPER:
ANTHONY BISHOP - TRUSTEE
NEW MARKET UNITED METHODIST CHURCH
PO. BOX 111
NEW MARKET, MARYLAND 21774
BULLBISHOP03@GMAIL.COM
ENGINEER:
SHAWN BENJAMINSON, PE
150 S. EAST ST., SUITE 201
FREDERICK, MARYLAND 21701
SBENJAMINSON@ADTEKENGINEERS.COM

LANDSCAPE NOTES

SCALE:	DATE: 03/13/2026	PROJECT NUMBER:	JOSHUA 1-9
DRAWN BY:	JEB	CHECKED BY:	SPB
	JEB	DESIGN BY:	C-6
		DRAWING NUMBER:	



I CERTIFY THAT THESE
DOCUMENTS WERE PREPARED
OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS
OF THE STATE OF MARYLAND.

ENSE No.

EXPIRATION DATE



MINISTRY CENTER
5501 OLD NEW MARKET ROAD
NEW MARKET, MD 21774

UE

[illegible]

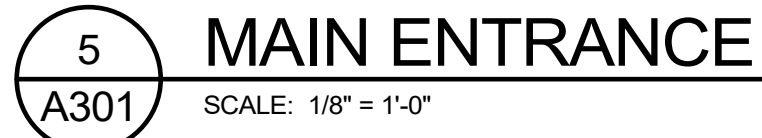
PROJECT NO.:	2025-06
DATE:	04/08/26

EXTERIOR ELEVATIONS

A301



SCALE: 1/8" = 1'-0"



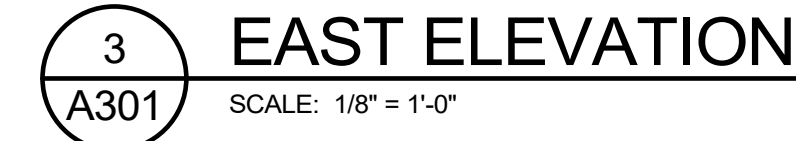
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"